

The Beachcomber Inn

The FUN Times—**February 2026 Election Edition**



ELECTION MATERIALS ENCLOSED

PROXY BALLOT MUST BE RECEIVED BEFORE Wednesday March 25, 2026

A Message from Phil Lee, Board President

This year's Annual HOA Meeting will be held on Saturday, March 28, 2026 at the usual location near Sacramento, i.e. Courtyard by Marriott (10683 White Rock Road, Rancho Cordova, CA 95670). During this meeting, we will elect two candidates to fill the two Board positions that are up for election. I encourage all Owners to mail the ballot that is enclosed with this newsletter back to the Beachcomber Inn as early as possible, even if you plan to attend the meeting in-person. It is important for the Beachcomber to achieve a quorum of Owners in order for the election to be official.

During the meeting, the Board and its General Manager will present the current status of the Beachcomber Inn and the progress that was achieved during 2025. Additionally, an update on the current financial status of the Association will be provided as well as the Board's thoughts on other Association priorities. The Annual Meeting is also a great opportunity for you to ask specific questions of the Board and to express your thoughts about the Beachcomber and its future direction. I encourage Owners to attend the Annual HOA Meeting either in-person (Marriott Courtyard) or by means of ZOOM. You will find the instructions and login information for accessing the meeting by ZOOM in this newsletter. If you have any questions about filling out your election ballot or using ZOOM to log into the meeting, please contact the Beachcomber office for assistance.

I look forward to seeing you at the Annual Meeting on March 28th in Rancho Cordova. Don't forget to mail your election ballot back to the Beachcomber Inn early so it is received by the March 25th deadline. Those ballots that are received by March 20th, will be entered into a drawing for 2 nights of Bonus Time. Winner will be announced at the Annual Meeting.

Beachcomber Inn Updates

OWNER BUOYS RESERVATIONS FOR 2026 SEASON

Buoy usage during your use week is always included, however you must make a reservation with the Front Desk prior to bringing your boat up to the Lake. Over the past few years we have been more aggressive about doing more public rentals and we want to make sure we have a mooring for you. As soon as you know you are bring your Boat, please let us know, so we can hold a buoy reservation for you.

BEWARE — SOLICITING CALLS TO SELL YOUR TIMESHARE!

Several members recently informed us that they have received phone calls asking them to attend a presentation to sell their use week (s). These companies are making claims that the Beachcomber Inn is going bankrupt or something to that effect to get your attention. These are fraudulent companies only out to get your money. If you receive such a call or receive a postcard in the mail about attending an online or in-person presentation including a meal, please be aware this is not a Beachcomber Inn sponsored event. You should immediately contact the Front Office to verify the information before attending a meeting or signing over your deed to anyone. If you have any questions about this, please give us a call. (530) 544-2426

WI-FI PROJECT UPDATE

We are pleased to announce that the new fiberoptics WIFI project is almost finished. A complete re-wiring to each unit is now done and we are waiting for the new equipment to be installed, hopefully within a few months.

In-House Sales Program 50% OFF!

All Beachcomber Inn Units for Sale are 50% off the list price. Our website is updated monthly to reflect the most recent Unit listing. Look under the "Timeshare Sales" tab on the website for full sales information. Staff will also be encouraging our exchange guests and public renters to join our family. Interested buyers can call the front office for a current listing of available units, or stop by the office to see us.

Any current owner who refers a new member to the Beachcomber will receive \$100.00 once the sale is completed.



Office Hours:

9:00 AM - 5:00 PM

999 Lakeview Ave South Lake Tahoe, CA 96150

(530) 544-2426 info@beachcombertainn.com



Annual Election and Meeting

Saturday March, 28th, 2026

10:00 AM

Courtyard by Marriott

10683 White Rock Road

Rancho Cordova, CA 95670

(916) 635-3800

Attend in Person or on ZOOM.

Zoom Details for joining us online are provided on the last page of this newsletter.

- ELECTION MATERIAL IS ENCLOSED -

PROXY BALLOT MUST BE

RECEIVED BY

March 25th, 2026

BALLOT INSTRUCTIONS

Mark the number of votes (e.g., 0, 1, 2, etc.) you allocate to each candidate on your Proxy Ballot. For this election, you can only cast a total of TWO (2) votes for each unit you own.

Cumulative voting—TWO directors will be elected from the slate of candidates listed below. Accordingly, you may accumulate your votes. Pursuant to Article II, Section 6 of the Association By-laws, you may distribute those votes among as many candidates as you see fit. For this election, you will cast a maximum total of TWO votes per unit owned. **YOU MAY NOT CAST HALF VOTES.** You may cast fewer votes than your cumulative total; however, if you cast more votes than your cumulative total your entire ballot will be invalid. If you wish your ballot to be used for quorum purposes only, please check the box marked "Vote Withheld".

Then, **print and sign** your name on the ballot envelope and **list your unit number (s)** on the ballot envelope. **DO NOT identify** yourself on the ballot or it becomes invalid. Seal the ballot envelope and **enclose and return** it in the self-addressed envelope to the Beachcomber Inn. Do not include anything else in the return envelope.

In-person drop-off of Ballots will be accepted this year at the Front Office of the Beachcomber Inn no later than 5:00 PM on March 25, 2026. Members can also vote in person, if they choose, at the Annual Meeting in Rancho Cordova, CA on March 28, 2026. Any questions about the ballot/voting process should be directed to the Beachcomber Inn Front Office.

Beachcomber Inn

Candidate Statements

Erika Conley

I have cherished memories of South Lake Tahoe that go all the way back to my childhood. After college, my husband and I spent a short time living in Zephyr Cove in 2003, and that experience deepened our connection to the area. Not long after moving back to the Sacramento region, we were introduced to the Beachcomber — and from our very first stay, we knew it was something special.

Before long, we returned several times as guests with friends, and eventually decided to become owners ourselves. Since then, the Beachcomber has been a place where we have created countless memories with our twins, extended family, and close friends. It has truly become an important part of our lives.



In the fall of 2020, we made the decision to relocate back to the South Lake Tahoe area. Living nearby through the challenges of recent years — including the pandemic, the Caldor Fire, and record-setting winter storms — has given me an even greater appreciation for the Beachcomber and a valuable local perspective that I believe continues to benefit the Board.

As an association, it is essential that we remain focused on attracting new owners and exploring additional revenue-generating opportunities so we can maintain the quality of the resort while keeping maintenance fees manageable. Having served on the Board since 2016, I would like to continue using the experience and knowledge I've gained to support the long-term success of the Beachcomber.

I have also encouraged several friends and family members to become owners, and I strongly believe that member referrals and word-of-mouth remain powerful tools for strengthening ownership and increasing occupancy.

After attending several timeshare presentations recently, I was reminded just how exceptional the Beachcomber truly is — both in value and in the experience it provides. I would be honored to continue serving on the Board to help ensure the Beachcomber remains an affordable, desirable, and welcoming place for generations to come, including someday for my children and their families.

Thank you,

Erika



Beachcomber Inn

Candidate Statements

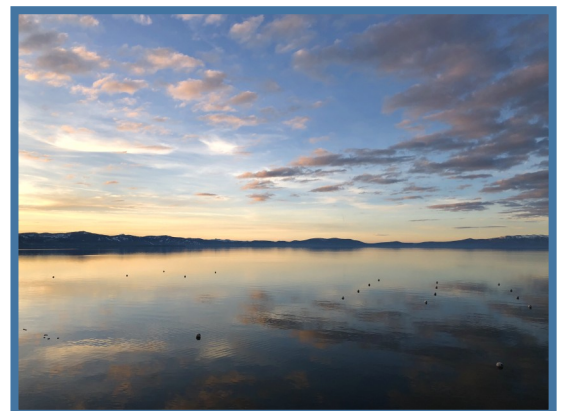
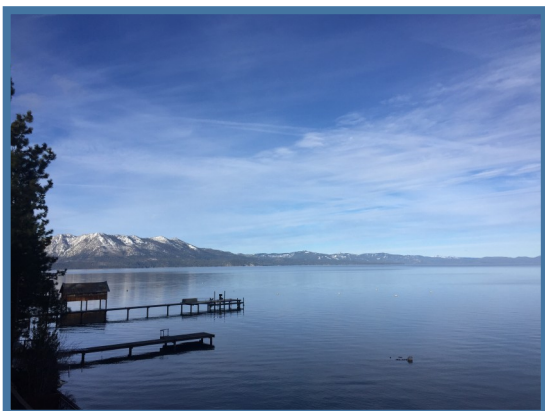
Paul Gardanier

I have been an owner (G-31) at Beachcomber Inn from the beginning and now own six additional units. During the past several years, the Association has faced and successfully navigated through a pandemic, wildfires, labor shortages, and extreme winter weather. Those unexpected events affected the Association's income, labor costs, and operating costs. The Board of Directors have continued to work hard toward a balanced budget, while trying not to affect the services the HOA members want and expect. Due to the unexpected rise in operating costs, the Board was unable to complete the exterior-remodel project because the remodel funds were needed to offset the unexpected operational costs. I believe that I have the skills, training, and experience to continue to be an effective Board member who can help the Association. Having been a member of the Board since 2016, the Board has improved the budgeting process and has become more proactive in maintaining the resort. Additionally, we made progress in planning and then executing a small portion of the exterior remodel project. Thank you for your past support and ask for your vote once again so I may continue the work that has already started.



My family and I enjoy the Beachcomber location, its family environment, the caring Beachcomber staff, and the friendly Association members. I want to see the Beachcomber Inn continue for future generations to enjoy.

Thank you, Paul



Candidate Questions

Candidate Questions

1. What units/weeks do you own at The Beachcomber Inn, and how long have you been an owner/member?

Erika — P50 since 2005 (Over 20 Years)

Paul — My wife and I have been a member of the Beachcomber since the very beginning. We currently own: G31, N31, N32, E32 D33 K51, P52.

2. What is your occupation?

Erika —I work in Operations Supervisor with Tahoe Transportation District in South Lake Tahoe.

Paul—I am retired. My last position was Senior Director of Quality at a medical device company. My prior occupations have included manufacturing engineering positions.

3. Describe your educational background.

Erika—B.S. in Mechanical Engineering at UC Davis in 2002, CA Department of Real Estate Salesperson License since 2004, CrossFit Level 2 Trainer since 2022.

Paul—B.S. and M.S. degrees in engineering from the University of Arizona, Tucson, Arizona

4. Briefly describe any groups or associations that you are presently or have been a member of.

Erika—South Tahoe High School Booster Club Member. Former Treasurer of the Twisters Sports Booster Club & Various Parent Teacher Organizations over the years.

Paul—I am a member of the following HOA associations:

Marriott Desert Springs Villas (timeshare)

8001 N Central Homeowners Association (condominium association)

College Point Homeowners Association (community association)

The Springs Homeowners Association (condominium association)

5. In what city and state do you reside?

Erika— South Lake Tahoe, CA.

Paul— Rancho Mirage, CA

6. What involvement have you had in the past with our Association?

Erika—I have been on the board for the past 10 years as Vice President, Member-At-Large and currently Treasurer.

Paul—I am currently on the Beachcomber Board of Directors (since March 2016) and have held the positions of Treasurer, Board President. I am currently the Member-at-Large.

Candidate Questions Continued

7. Are you related to any of the current board members?

Erika—No

Paul—No

8. How much time are you willing to contribute during an average month in connection with Board matters?

Erika—15-20 hours.

Paul—Being retired allows me the flexibility to allocate as much time as needed to work on Board items for the Beachcomber.

9. If elected, what changes would you like to pursue at The Beachcomber Inn?

Erika—I would like to see more units sold so our maintenance fees will not need to increase as regularly. I would like to complete resort upgrades to bring additional vacationers and owners.

Paul—I will focus on assisting the BOD in increasing association income. Many of the Association expenses are fixed (e.g. insurance, utilities, wages, taxes), therefore increasing income is the only way to reach a balanced state. Besides selling more Association-owned units, the only other means for increasing income is to improve the rental program for Association-owned units.

10. How would you pay for any changes you are proposing?

Erika—The sale of additional resort owned units will help bring in revenue along with the continued marketing of the resort for public rentals to fill the gaps in the meantime.

Paul—As a Board member I will work diligently to ensure the collected funds are managed and prudently spent. I believe the Association has everything it needs to expand the marketing and management of the rental program for Association-owned units.

11. How would you achieve/maintain a balanced budget?

Erika—I would focus on revenue by attempting to increase the number of owners as well as supplement income from non-member rentals and add additional revenue generating products/services.

Paul—As a Board member of a legacy (older) resort, I will continue to work with the other Board members to plan, think outside of the box, be creative, and make tradeoffs when appropriate. Increasing income should be the highest priority for the Board.

A couple of helpful apps to download. Available through Google Play Store or the Apple App Store.

Caltrans Quickmap gives instant access to road conditions and construction.



Visit Lake Tahoe is a local website with events and trip planning tools.



Beachcomber Inn is inviting you to a Zoom meeting.

Topic: Beachcomber Inn Association Annual Meeting And 2026 Elections

Time: Saturday March 28, 2026 10:00 AM Pacific Time (US and Canada)

Join Zoom Meeting

<https://us06web.zoom.us/j/84256035374?pwd=86dd8fZbaGAQ6iZlOkYUU8t32oQpV4.1>

Meeting ID: 842 5603 5374

Passcode: 535302

One tap mobile

+16694449171 84256035374# *535302# US

+12532158782 84256035374# *535302# US (Tacoma)

Join instructions

<https://us06web.zoom.us/join/84256035374/invitations?signature=7o9kjI5LAv9jEOi9N64Kk1YA62-04LMhV3XXRETxa8M>

A Reminder email with a “clickable link” to attend the meeting will be sent out in late March to those owners who participate in our on-line Newsletter Campaign.

To sign up for our emailed Newsletters, contact the Front Office (530) 544-2426.

This information with “clickable link” will also be posted at that time in the Members Portal on our Beachcomber Inn website in the Newsletter Section.

If you have any questions prior to the Meeting,

Please contact Robert Townsend, General Manager at the Resort.

